

PROJECT TEAM

OWNER
GARTH LARSEN
MAX'S POSITIVE VIBE CAFE
P 804.560.9622

ARCHITECT
3 NORTH
201 WEST 7TH STREET
RICHMOND, VA 23224
P 804.232.8900 F 804.232.2092
CONTACTS:
CARY SWEAT (csweat@3north.net)

INTERIOR DESIGNER
HL REED DESIGN
2006 EAST FRANKLIN ST SUITE 103
RICHMOND, VA 23223
P 804.644.5177 F 804.649.9211
CONTACTS:
HELEN L REED (hlr@hreeddesign.com)

KITCHEN DESIGNER
FOODSERVICE RESOURCES
9508 FLINT HILL COURT
FREDERICKSBURG, VA 22407
P 540.786.3663 F 540.786.3673
CONTACTS:
JOHN DEPAULA (johnde@foodservicesresources.com)

CODE INFORMATION

SITE ADDRESS:
STRATFORD HILLS SHOPPING CENTER
2825 HATHAWAY ROAD
RICHMOND, VA 23225

APPLICABLE CODES & REGULATIONS:
VA UNIFORM STATEWIDE BUILDING CODE (2003)
INTERNATIONAL BUILDING CODE (2003)
ZONING ORDINANCE, CITY OF RICHMOND, VIRGINIA

ZONING DISTRICT:
B-2: COMMUNITY BUSINESS DISTRICT

CONSTRUCTION TYPE:
V-B (UNSPRINKLED)

OCCUPANCY TYPE:
A-2: RESTAURANT

AREA OF SITE:
N/A: LEASED-SPACE TENANT INFILL / NO EXTERIOR WORK PERFORMED

BUILDING HEIGHT / AREA LIMITATIONS:			
	ALLOWABLE ZONING B-2	ALLOWABLE IBC TABLE 503	ACTUAL BY DESIGN
HEIGHT:	35'	40'	< 20'
STORIES:	(NO LIMIT)	1 STORY	1 STORY + BASEMENT
FLOOR AREA:	(NO LIMIT)	6,000 SF	4,855 SF

SETBACKS:
FRONT YARD: 25'
SIDE YARDS: 10' WHERE PROPERTY ABUTS R / RO DISTRICT
REAR YARD: 20' WHERE PROPERTY ABUTS R / RO DISTRICT
NOTE: LEASED-SPACE TENANT INFILL / NO EXTERIOR WORK PERFORMED

FIRE RESISTIVE REQUIREMENTS:
NO RATING REQUIRED AT STRUCTURAL FRAME, BEARING WALLS, NON-BEARING WALLS, FLOOR CONSTRUCTION OR ROOF CONSTRUCTION (IBC TABLE 601) UNLESS OTHERWISE INDICATED.

ALL EXISTING RATED CONSTRUCTION REQUIRED PER IBC TABLE 602 TO REMAIN IN ENTIRETY. NO NEW PENETRATIONS TO BE MADE AT EXISTING EXTERIOR WALLS OR EXISTING RATED TENANT SEPARATIONS.

PARKING REQUIREMENTS:
SUFFICIENT EXISTING ON-SITE PARKING PROVIDED BY PROPERTY OWNER. NO NEW PARKING TO BE PROVIDED BY TENANT.

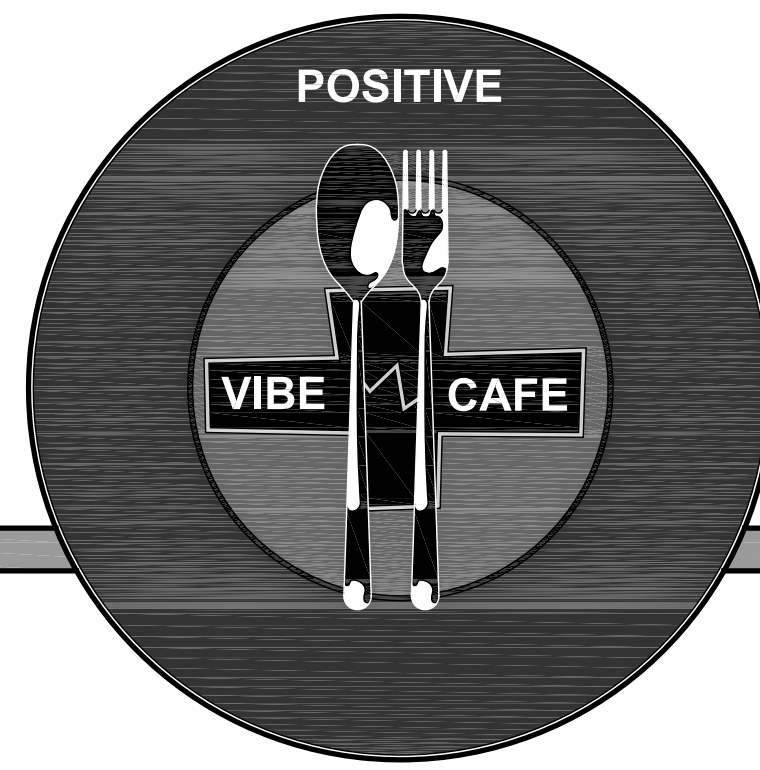
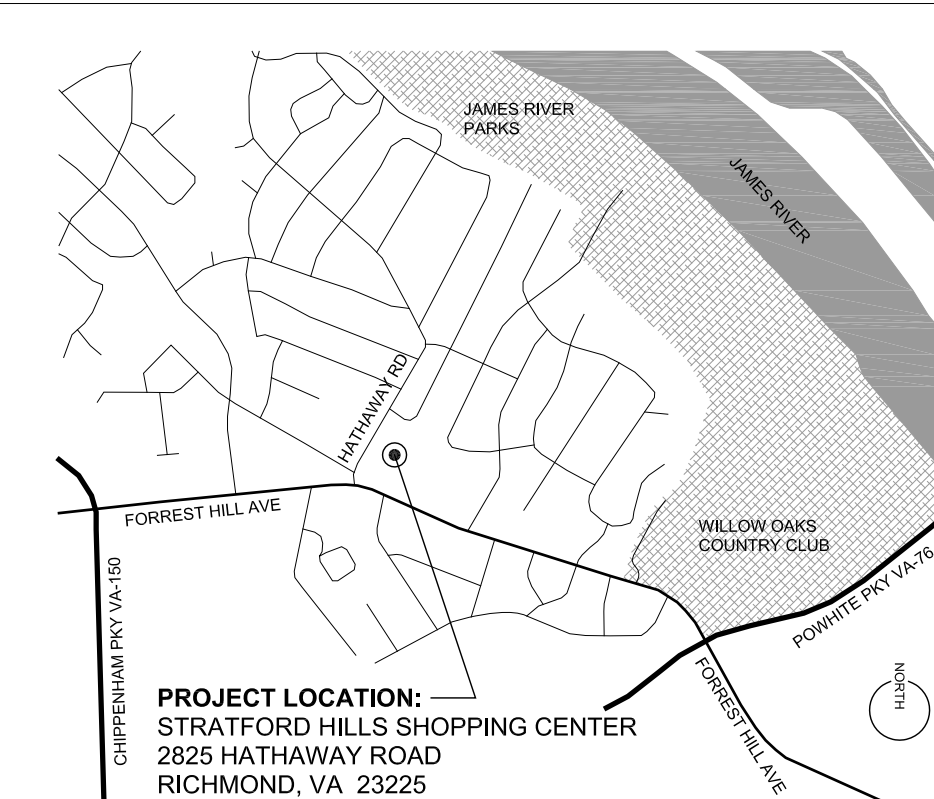
PLUMBING FIXTURE REQUIREMENTS:
REQUIRED FIXTURES (IBC TABLE 209.2.1):
PUBLIC DINING AREA (ASSEMBLY, UNCONCENTRATED):
DESIGNED SEATING / WAITING CAPACITY = 120 OCCUPANTS
3,435 NSF / 15 NSF PER OCCUPANT = 229 OCCUPANTS
229 OCCUPANTS / 75 OCCUPANTS PER WC =
3 PUBLIC WC REQUIRED
3 PUBLIC UNISEX WC PROVIDED (IBC §2902.1.1)

229 OCCUPANTS / 200 OCCUPANTS PER LAV =
1.2 LAVATORIES REQUIRED
3 LAVATORIES PROVIDED

STAFF SERVICE AREA (COMMERCIAL KITCHEN):
940 GSF / 200 GSF PER OCCUPANT = 4.7 OCCUPANTS
ASSUME 12 MAX STAFF OCCUPANTS PER HISTORICAL DATA
0 EMPLOYEE FACILITIES REQUIRED (IBC §2902.2.2)
1 EMPLOYEE WC & LAVATORY PROVIDED

OTHER:
1 DRINKING FOUNTAIN REQUIRED & PROVIDED
1 SERVICE SINK REQUIRED & PROVIDED

VICINITY MAP



MAX'S POSITIVE VIBE CAFE

2008 RENOVATIONS & EXPANSION



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DRAWING LIST

CS1.1	COVER SHEET
CS1.2	GENERAL INFORMATION
D1.1	DEMOLITION PLAN
A1.1	CONSTRUCTION PLAN
A1.2	FEATURES PLAN
A4.1	SECTIONS & DETAILS
* P1.1	PLUMBING PLAN
* E1.1	ELECTRICAL POWER PLAN

* NOTE: ALL ELECTRICAL & PLUMBING INFORMATION INTENDED FOR EQUIPMENT COORDINATION ONLY. COMPLETE ELECTRICAL & PLUMBING CONSTRUCTION DOCUMENTS TO BE PROVIDED UNDER SEPARATE CONTRACT BY QUALIFIED PROFESSIONAL.

GENERAL NOTES

- SEE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL WORK SHALL CONFORM WITH ALL GOVERNING LAWS, CODES & ORDINANCES INCLUDING, BUT NOT LIMITED TO, THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL RESIDENTIAL CODE. IF POTENTIAL CONFLICTS ARISE, THE CONTRACTOR SHALL NOT PROCEED WITH THE EFFECTED WORK AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. THIS SHALL SPECIFICALLY INCLUDE ON-SITE PROCEDURES AS THEY RELATE TO THE SAFETY OF THE CONSTRUCTION CREW AND THE GENERAL PUBLIC. IN ADDITION, IT SHALL SPECIFICALLY INCLUDE THE PROTECTION OF ANY EXISTING STRUCTURES TO AVOID DAMAGE RELATING TO OR ARISING FROM WORK WITHIN THIS CONTRACT.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR AMBIGUITIES DISCOVERED IN THE CONTRACT DOCUMENTS DURING BIDDING, DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN ANY AREA OF CONFLICT UNTIL THE ISSUE HAS BEEN RESOLVED.
- THE CONTRACTOR SHALL PROVIDE CLEAN-UP OF DEBRIS AND TRASH AT INTERVALS REQUIRED TO KEEP THE SITE AND WORK AREAS REASONABLY CLEAN OF UNSAFE AND UNSIGHTLY ACCUMULATION. THE CONTRACTOR SHALL ALSO PROVIDE A PROFESSIONAL CLEANING AT PROJECT COMPLETION. SEE SPECIFICATIONS FOR REQUIREMENTS.
- WHERE POTENTIAL HAZARDOUS MATERIALS ARE ENCOUNTERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR USING NECESSARY PRECAUTIONS DURING WORK AND / OR DISPOSAL. IF UNFORSEEN SUSPECT MATERIALS ARE UNCOVERED DURING WORK WITHIN THIS CONTRACT, THE CONTRACTOR SHALL STOP WORK IN THE AREA IMMEDIATELY AND NOTIFY THE ARCHITECT.

REVISIONS:

SYMBOLS

DRAWING TITLE	DRAWING NAME SCALE: 1/4" = 1'-0"
FINISH FLOOR HEIGHT	MAIN F.F.E. 205'-0"
ELEVATION KEY	
SECTION KEY	
DETAIL KEY	
INTERIOR ELEVATION KEY	
ROOM NAME, NUMBER & FINISH	
WINDOW TAG	
DOOR TAG	
CENTER LINE	

ABBREVIATIONS

ABV	ABOVE	CORR	CORRIDOR	FCU	FAN COIL UNIT	LT	LIGHT	PLAS	PLASTER	STOR	STORAGE
ACT	ACOVE FINISH FLOOR	CRS	COURSE (S)	FE	FIRE EXTINGUISHER	LT WT	LIGHT WEIGHT	PLAM	PLASTIC LAMINATE	STRUCT	STRUCTURE
ACC	ACOUSTICAL TILE	CF	CUBIC FEET	FEC	FIRE EXTINGUISHER CABINET	LF	LINEAR FOOT	PL	PLATE	SYN	SYMMETRY (ICAL)
ADJ	ADJACENT	CF	CUBIC YARD	FA	FIRE ALARM / FRESH AIR	LL	LINE LOAD	PWD	PLYWOOD	SUSP	SUSPENDED
AHU	AIR HANDLING UNIT	DEPT	DEPARTMENT	FLASH	FLASHING	MH	MANHOLE	PVC	POLYVINYL CHLORIDE	SYS	SYSTEM
ALUM	ALUMINUM	DTL	DETAIL	FLR	FLOOR (ING)	MFR	MANUFACTURER	PCF	POUNDS PER CUBIC FOOT	SSTL	STAINLESS STEEL
AB	ANCHOR BOLT	DIA	DIAMETER	FD	FLOOR DRAIN	MAS	MASONRY	PFL	POUNDS PER LINEAL FOOT	TEL	TELEPHONE
APPROX	APPROXIMATE	DIM	DIMENSION	FLUOR	FLUORESCENT	MO	MASONRY OPENING	PSF	POUNDS PER SQUARE FOOT	TV	TELEVISION
AD	AREA DRAIN	DISP	DISPENSER	FT	FOOT OR FEET	MTL	METAL	PSI	POUNDS PER SQUARE INCH	TEMP	TEMPERED
APC	ARCHITECTURAL PRECAST	DIV	DIVISION	FTG	FOOTING	MAX	MAXIMUM	PC	PRECAST	T.S.	TUBE STEEL
BRG	BEARING	DR	DOOR	FND	FOUNDATION	MECH	MECHANICAL	QT	QUARRY TILE	THK	THICK
BLW	BELOW	DRY	DRYER	GA	GAUGE	MED	MEDIUM	R	RUBBER	THR	THRESHOLD
BLDG	BUILDING	DBL	DOUBLE	GALV	GALVANIZED	MBR	MEMBER	RA	RETURN AIR	T&G	TONGUE AND GROOVE
BLK	BLOCK	DH	DOUBLE HUNG	GC	GENERAL CONTRACT	MATL	MATERIAL	RAD	RADIUS	TOC	TOP OF CURB
BLKG	BLOCKING	DN	DOWN	GL	(CONTRACTOR)	M	METER	RD	ROOF DRAIN	TP	TOP OF PAVEMENT
BD	BOARD	DS	DOWNSPOUT	GLB	GLASS BLOCK	MM	MILLIMETER	RCP	REINFORCED CONCRETE PIPE	T	TREAD
BM	BEAM	DWG	DRAWING	GLC	GLAZED CONCRETE	MIN	MINIMUM	REF	REFERENCE (REFER)	TOW	TOP OF WALL
BO	BOTTOM OF	GOARD	DRINKING FOUNTAIN	GCMU	MASONRY UNIT	MIR	MIRROR	RECEP	RECEPTACLE	TJ	TRUSJOIST
BRK	BRICK	EA	EACH	E	EAST	MISC	MISCELLANEOUS	RFL	REFLECT (ED)	TWF	THROUGH-WALL FLASHING
BTW	BETWEEN	E	EXPANSION JOINT	GR	GRADE	MOD	MODULAR	REFR	REFRIGERATOR	TYP	TYPICAL
BUR	BUILT UP ROOFING	EJ	ELECTRIC (AL)	GRNT	GRANITE	MTD	MOUNTED	REINF	REINFORCED	UC	UNDERCUT
BOW	BOTTOM OF WALL	ELEC	ELECTRIC (AL)	GFCMU	GROUND FACE CMU	NAT	NATURAL	REQ	REQUIRED	UNF	UNFURNISHED
CPT	CARPET	EWC	ELECTRIC WATER COOLER	GPDW	GYPSUM DRYWALL	NRC	NATURAL NOISE REDUCTION	RESIL	RESILIENT	UNO	UNLESS NOTED OTHERWISE
CI	CAST IRON	ELEV	ELEVATION	HDW	HARDWARE	NOM	NOMINAL	RH	RIGHT HAND	UR	URNAL
CB	CEMENT BOARD	EMER	EMERGENCY	HTG	HEATING	NOM	NOMINAL	RND	ROUND	VB	VAPOR BARRIER
CLG	CEILING	ENCL	ENCLOSURE	HVAC	HEATING VENTILATING	NORTH	NORTH	RM	ROOM	VERT	VERTICAL
CTR	CENTER	EP	EPOXY PAINT	HGT	HEIGHT	NOT IN CONTRACT	NOT IN CONTRACT	RL	RAIN LEADER	VEST	VESTIBULE
CT	CERAMIC TILE	EQUIP	EQUIPMENT	HORIZ	HORIZONTAL	N/S	NOT TO SCALE	RO	ROUGH OPENING	VCT	VINYL COMPOSITE TILE
CIR	CIRCLE	EST	ESTIMATE	HM	HOLLOW METAL	NO	NO	RO	ROUGH OPENING	VSG	VINYL SHEET GOODS
CLR	CLEAR (ANCE)	EXH	EXHAUST	HOZ	HORIZONTAL	O/	OVER	SCHED	SCHEDULE	VP	VENER PLASTER
CLOS	CLOSET	EXT'G	EXISTING	HB	HOSE BIB	OC	ON CENTER	SFCMU	SPLIT FACE CMU	WVC	VINYL WALL COVERING
COL	CLEAN OUT	HR	EXISTING DIMENSION	HR	HOSE BIB	OFF	OFFICE	SLNT	SPLIT FACE CMU	WA	WASHER
COL	COLUMN	INCL	INCLUDE	HR	HOSE BIB	OPNG	OPENING	SHT	SHEET	W.F.	WATERPROOFING
COMP	COMPOSITION	ID	INSIDE DIAMETER	INSUL	INSULATION	OPP	OPPOSITE	SHT	SHEET	WP	WATERPROOFING
CONC	CONCRETE	INT	INTERIOR	INT	INTERIOR	OWSJ	OPEN WEB STEEL JOIST	SIM	SIMILAR	WWF	WELDED WIRE FABRIC
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	JAN	JANITOR CLOSET	OPH	OPPOSITE HAND	S	SOUTH	W	WEST
CONST	CONSTRUCTION	OD	OUTSIDE DIAMETER	JT	JOINT	OD	OUTSIDE DIAMETER	SC	SOLID CORE	WT	WEIGHT
CONT	CONTINUOUS OR CONTINUE	OA	OVERALL	JT	JOINT	OH	OVERHEAD	SD	SMOKE DETECTOR	WN	WINDOW
CLL	CONTRACT LIMIT LINE	OH	OVERHEAD	J	JOIST	PT	PRESSURE TREATED	SPEC	SPECIFICATION	W	WITH
CIP	CAST IN PLACE	PAINT	PAINT (ED)	KIT	KITCHEN	PNT	PAINT (ED)	SQ	SQUARE	W/O	WITHOUT
CJ	CONTROL JOINT	LABEL	LABEL	LBL	LABEL	PVMT	PAVEMENT	STD	STANDARD	W	WOOD
CG	CORNER GUARD	LAM	LAMINATE	LAM	LAMINATE	PR	PAIR	STC	SOUND TRANSMISSION CLASS	STC	STORAGE
		LAV	LAVATORY	LAV	LAVATORY	PR	PAIR	STL	STEEL		
		LH	LEFT HAND	LH	LEFT HAND	PERIM	PERIMETER				
		L	STEEL ANGLE	L	STEEL ANGLE						

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CS1.1

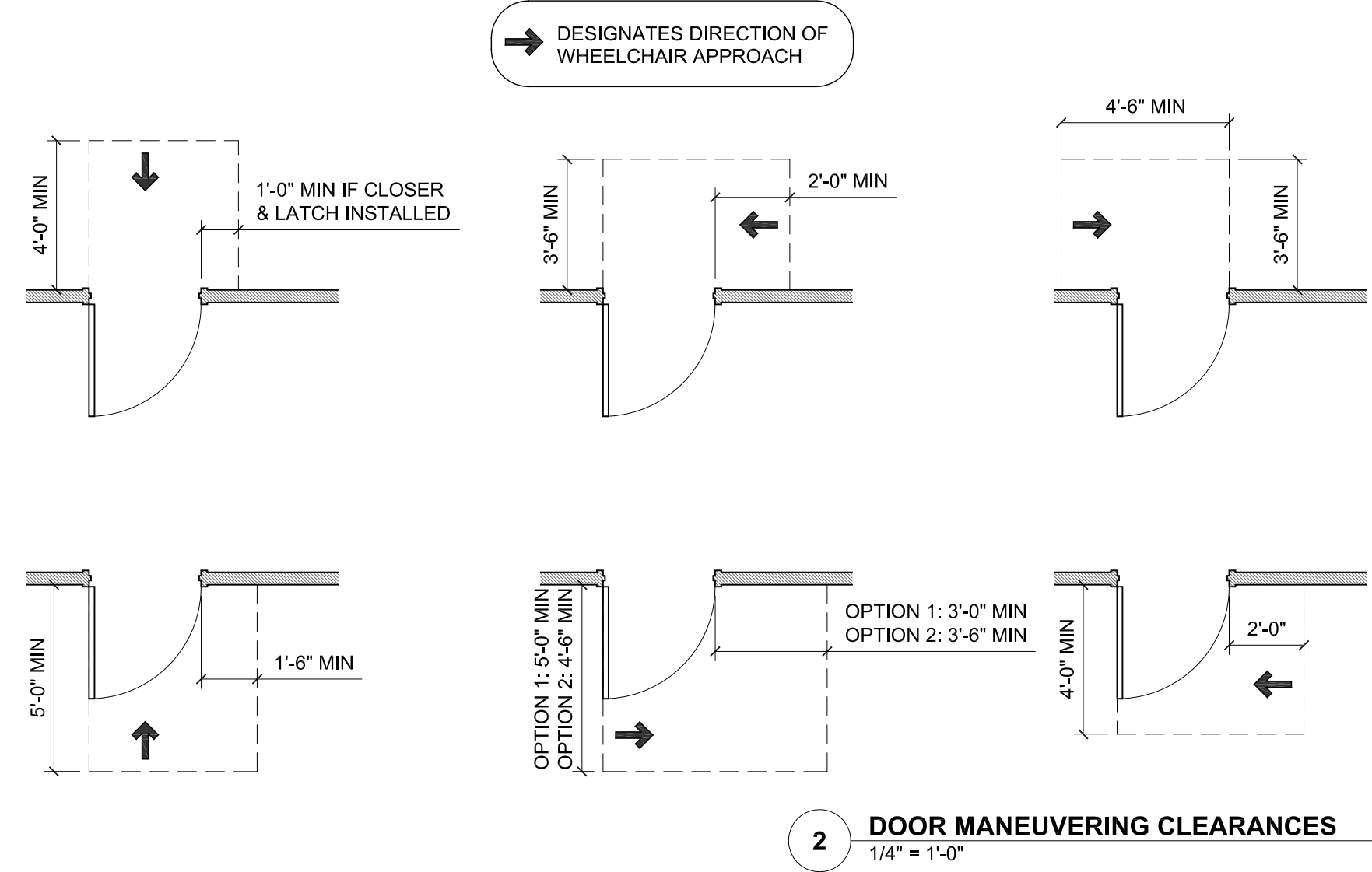
REVIEW SET - NOT FOR CONSTRUCTION

29 JAN 2008

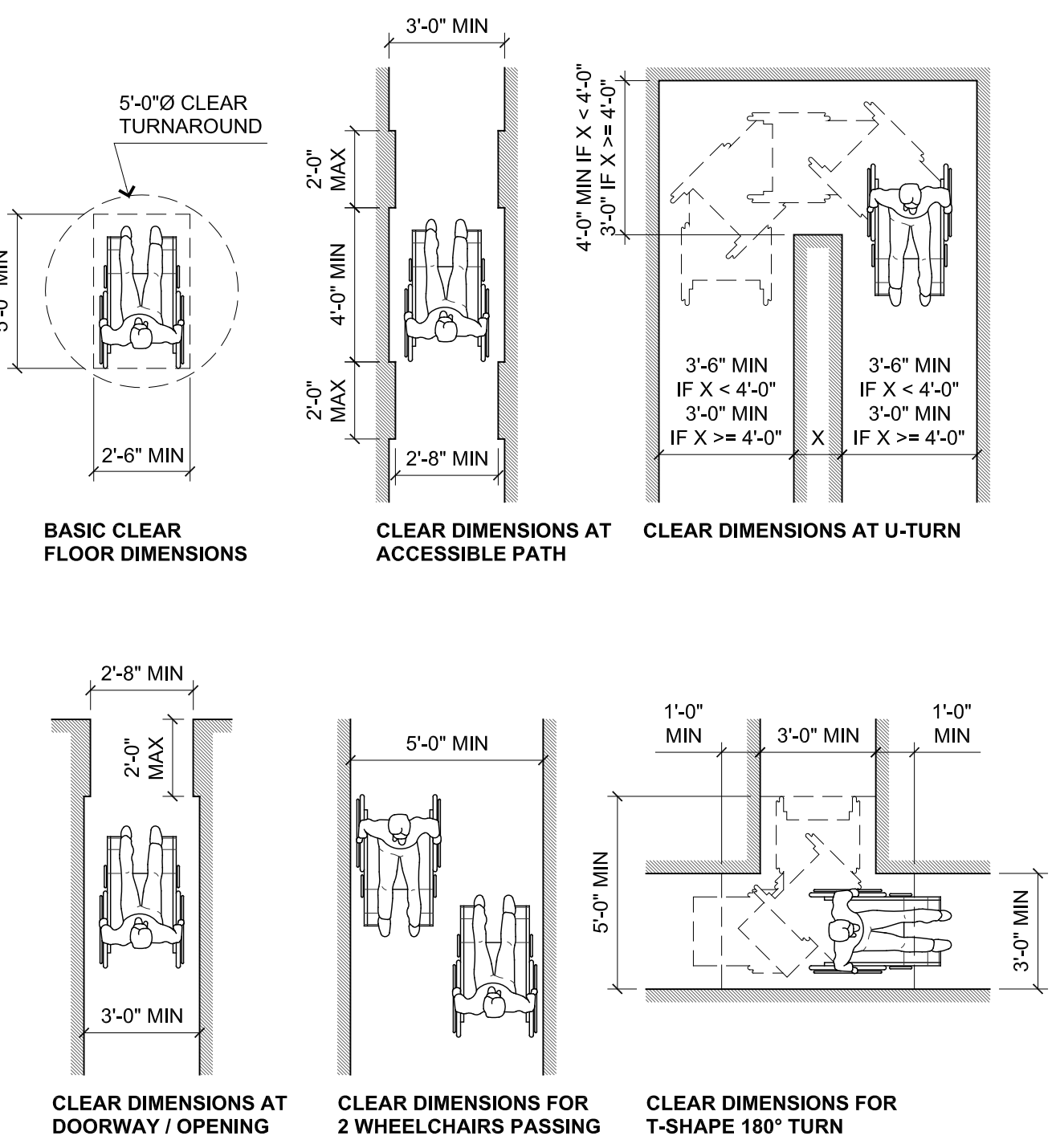
COVER SHEET

ACCESSIBILITY NOTES

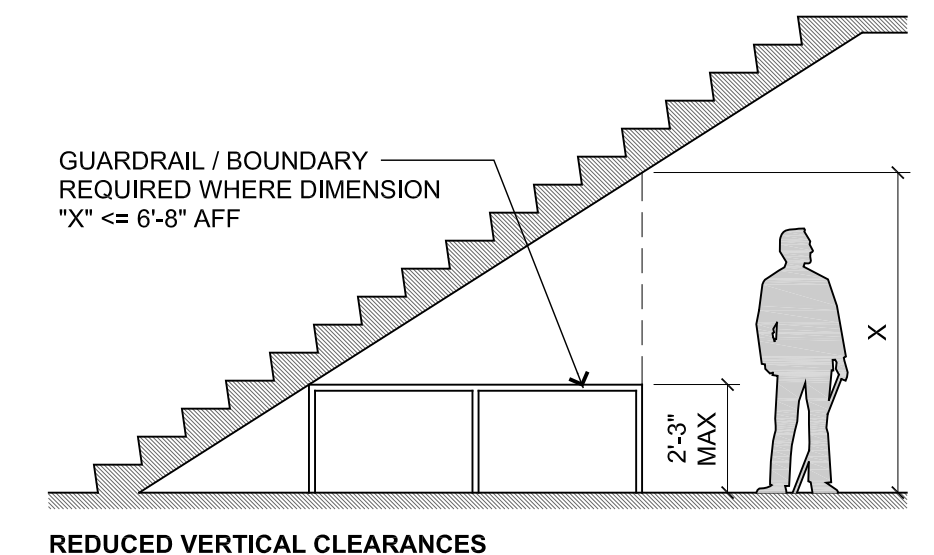
- ALL ACCESSIBLE AREAS SHALL CONFORM TO ANSI A117.1-2003 "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES"
- ALL DIMENSIONS, FIXTURES, PRODUCTS AND MATERIALS INDICATED ON THIS SHEET ARE FOR DIAGRAMMATIC PURPOSES AND INTENDED TO ILLUSTRATE TYPICAL CONSTRUCTION REQUIREMENTS ONLY. COORDINATE ALL DIMENSIONAL REQUIREMENTS WITH CONSTRUCTION DRAWINGS. SEE CONSTRUCTION DRAWINGS / PROJECT SPECIFICATIONS FOR ALL PRODUCT SELECTIONS.
- INDICATED ACCESSIBILITY CLEARANCES DO NOT APPLY TO DWELLING UNITS



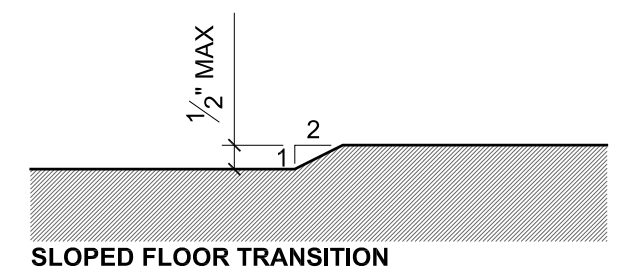
2 DOOR MANEUVERING CLEARANCES
1/4" = 1'-0"



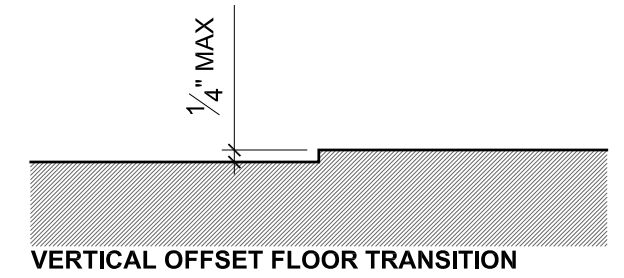
1 ACCESSIBLE CLEARANCES
1/4" = 1'-0"



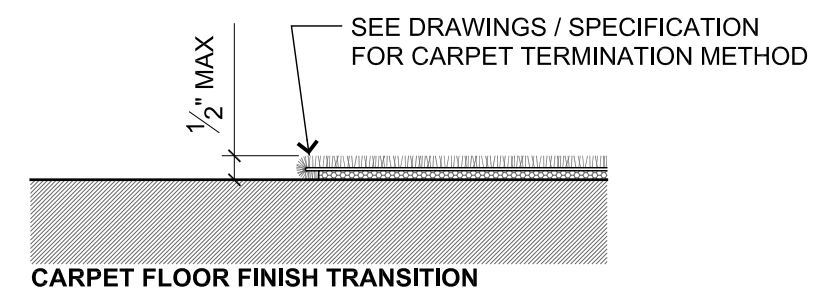
REDUCED VERTICAL CLEARANCES



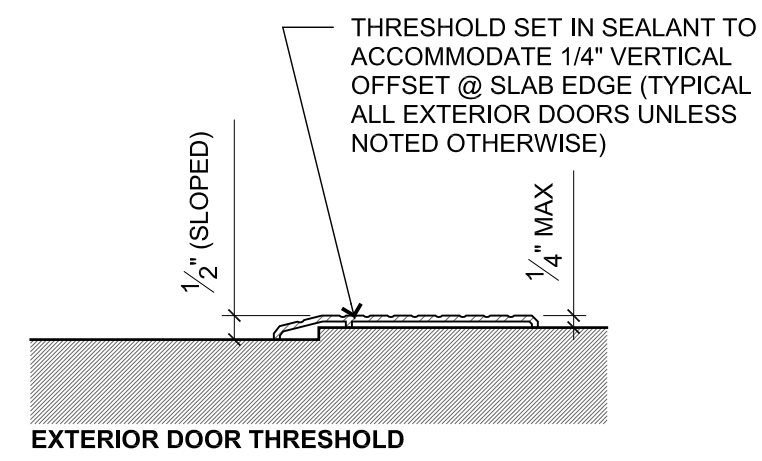
SLOPED FLOOR TRANSITION



VERTICAL OFFSET FLOOR TRANSITION



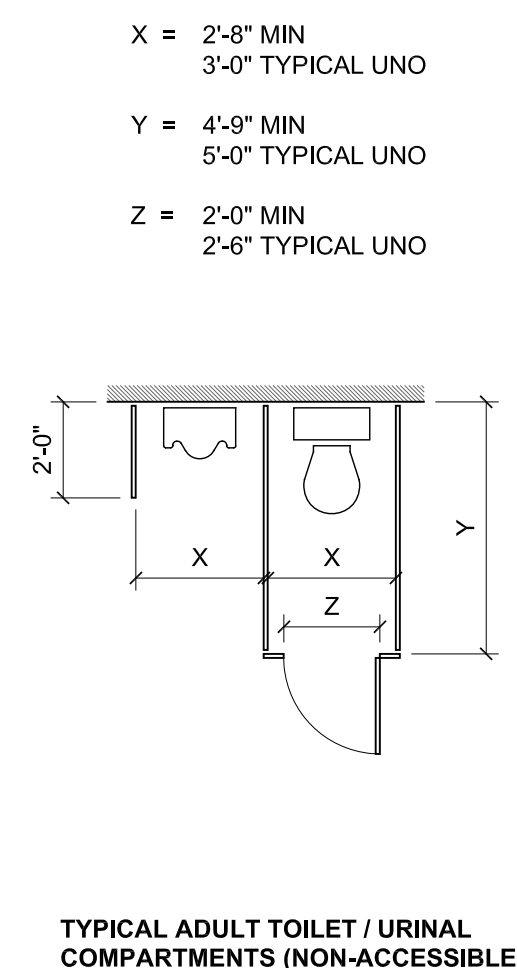
CARPET FLOOR FINISH TRANSITION



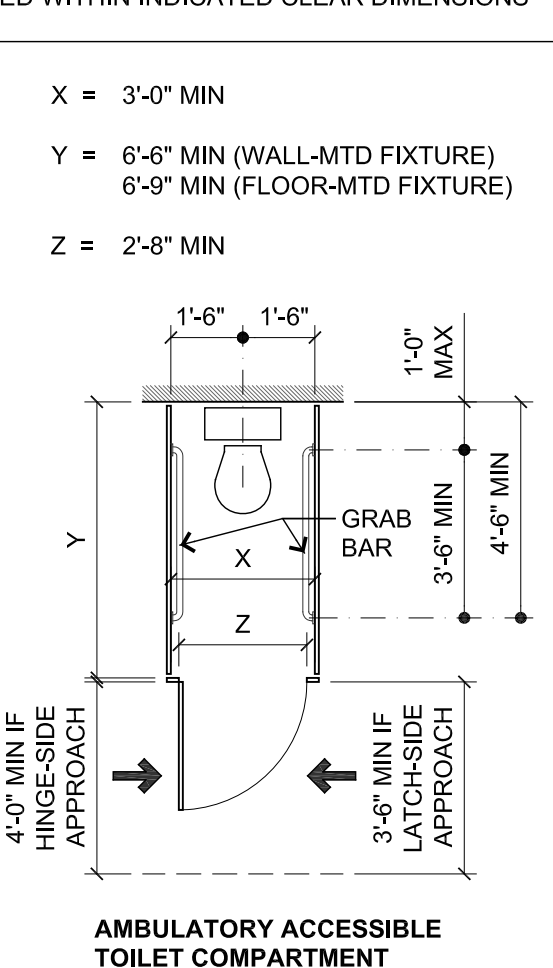
EXTERIOR DOOR THRESHOLD

5 ACCESSIBLE FLOOR TRANSITIONS
3" = 1'-0"

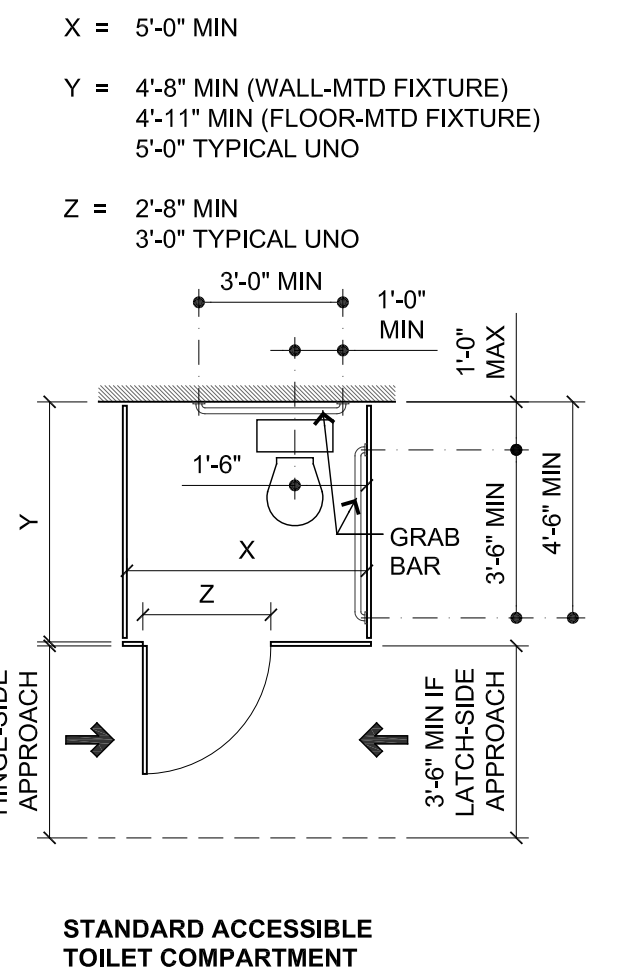
NOTE: IF LAVATORY IS TO BE INSTALLED WITHIN ANY ACCESSIBLE TOILET COMPARTMENT, ENCLOSURE MUST BE ENLARGED SUCH THAT LAVATORY IS NOT LOCATED WITHIN INDICATED CLEAR DIMENSIONS



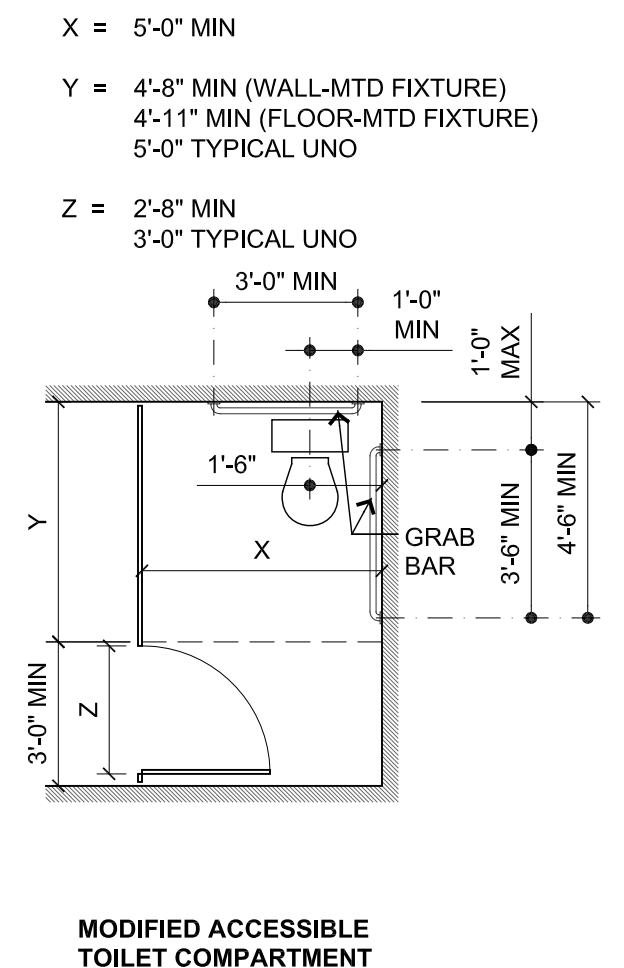
TYPICAL ADULT TOILET / URINAL COMPARTMENTS (NON-ACCESSIBLE)



AMBULATORY ACCESSIBLE TOILET COMPARTMENT

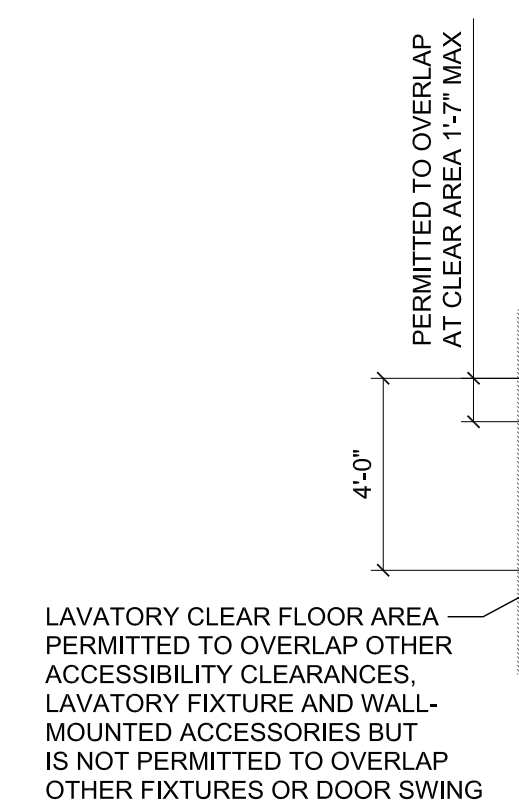


STANDARD ACCESSIBLE TOILET COMPARTMENT

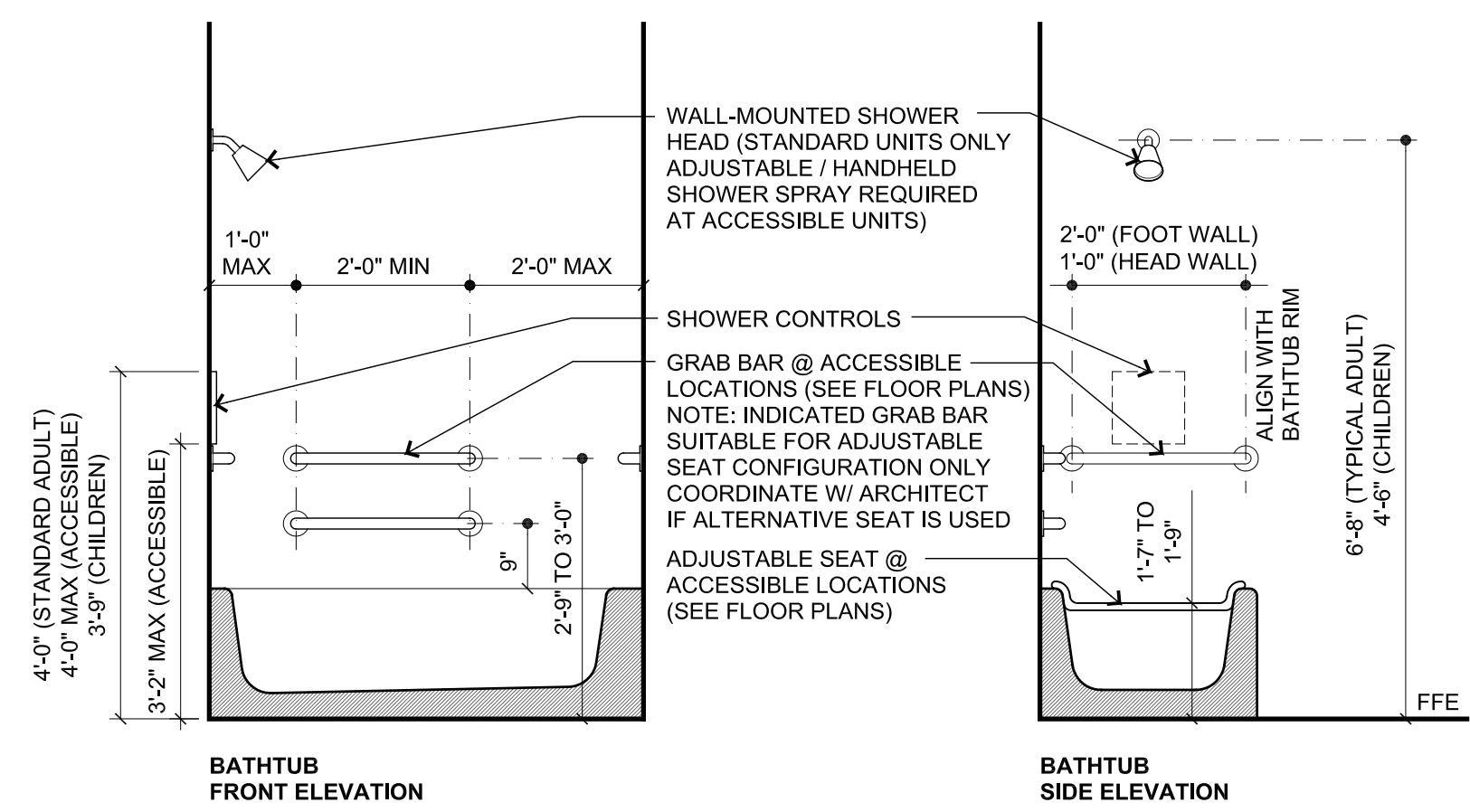


MODIFIED ACCESSIBLE TOILET COMPARTMENT

4 TOILET COMPARTMENTS
1/4" = 1'-0"

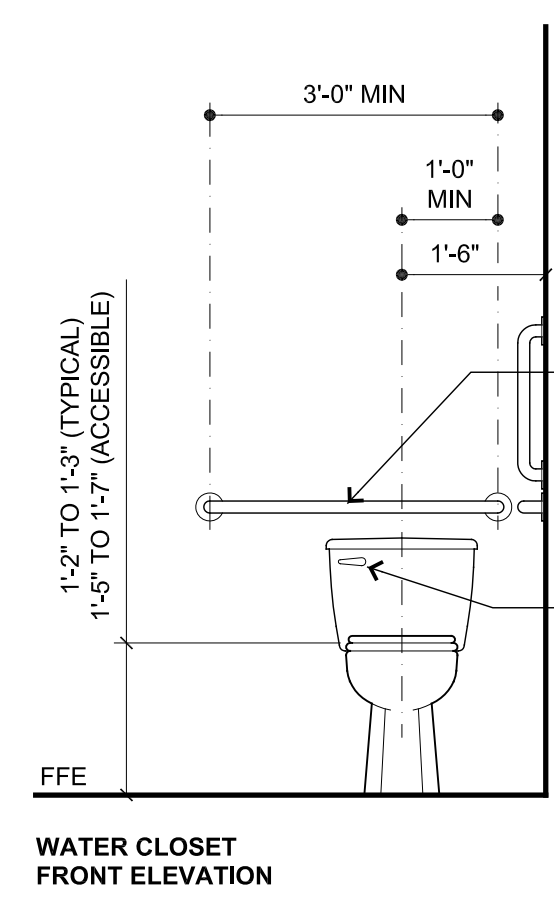


3 ACCESSIBLE RESTROOM CLEARANCES
1/4" = 1'-0"

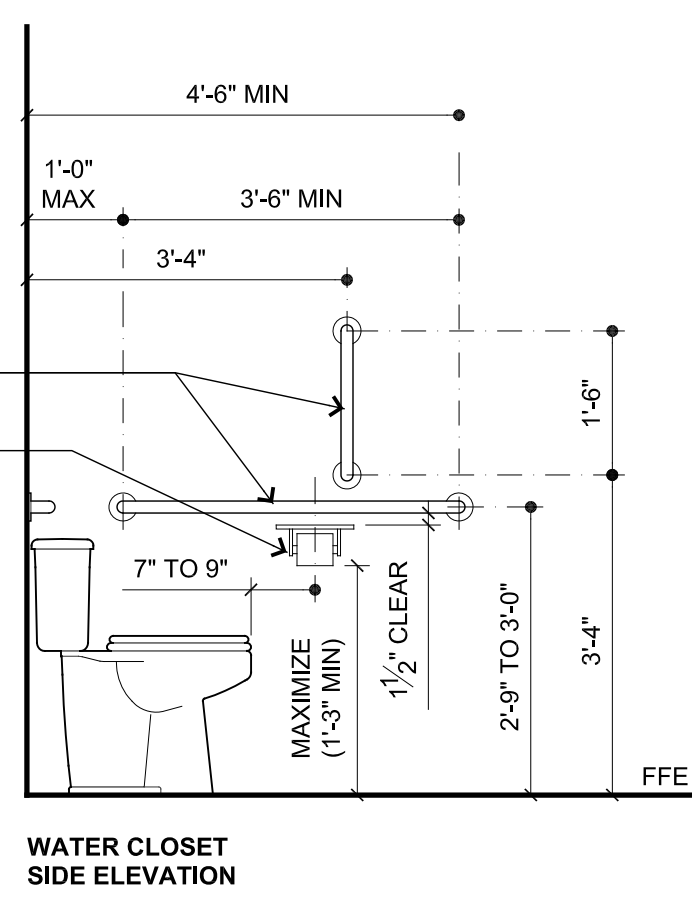


BATHTUB FRONT ELEVATION

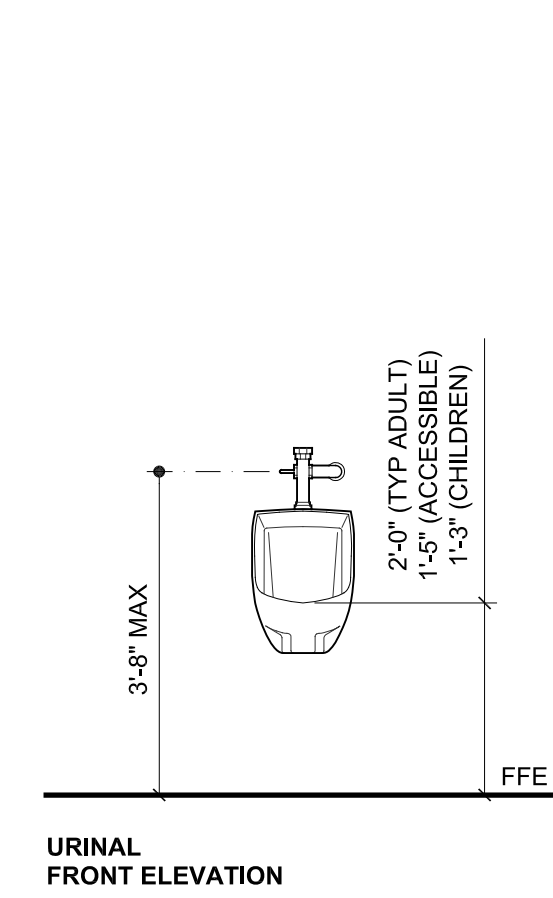
BATHTUB SIDE ELEVATION



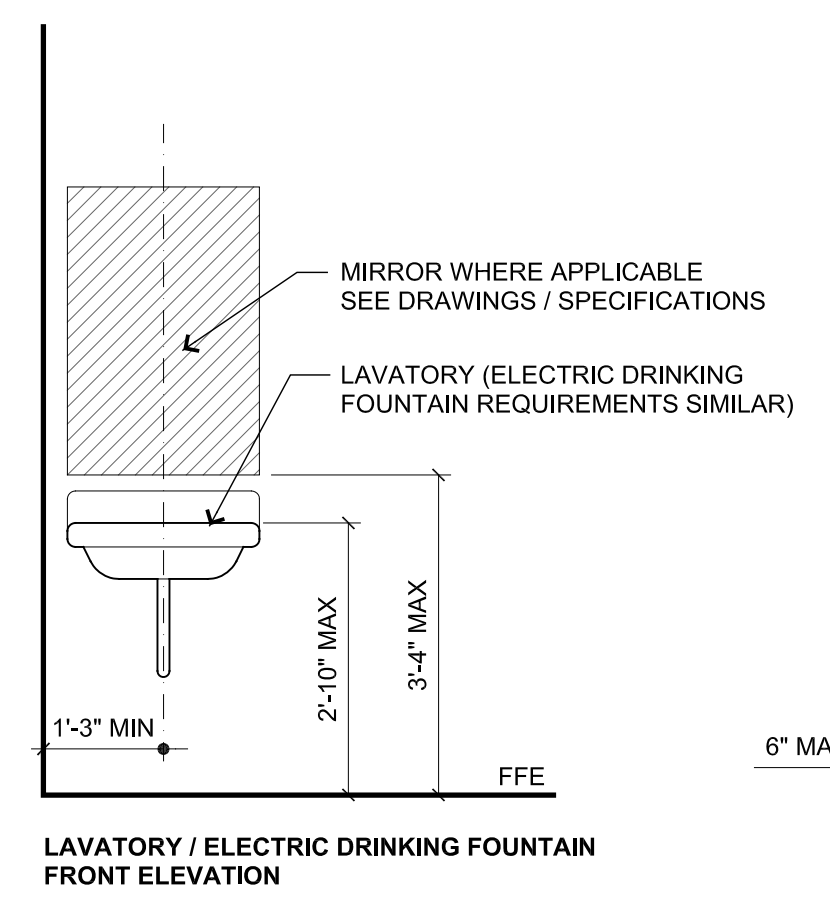
WATER CLOSET FRONT ELEVATION



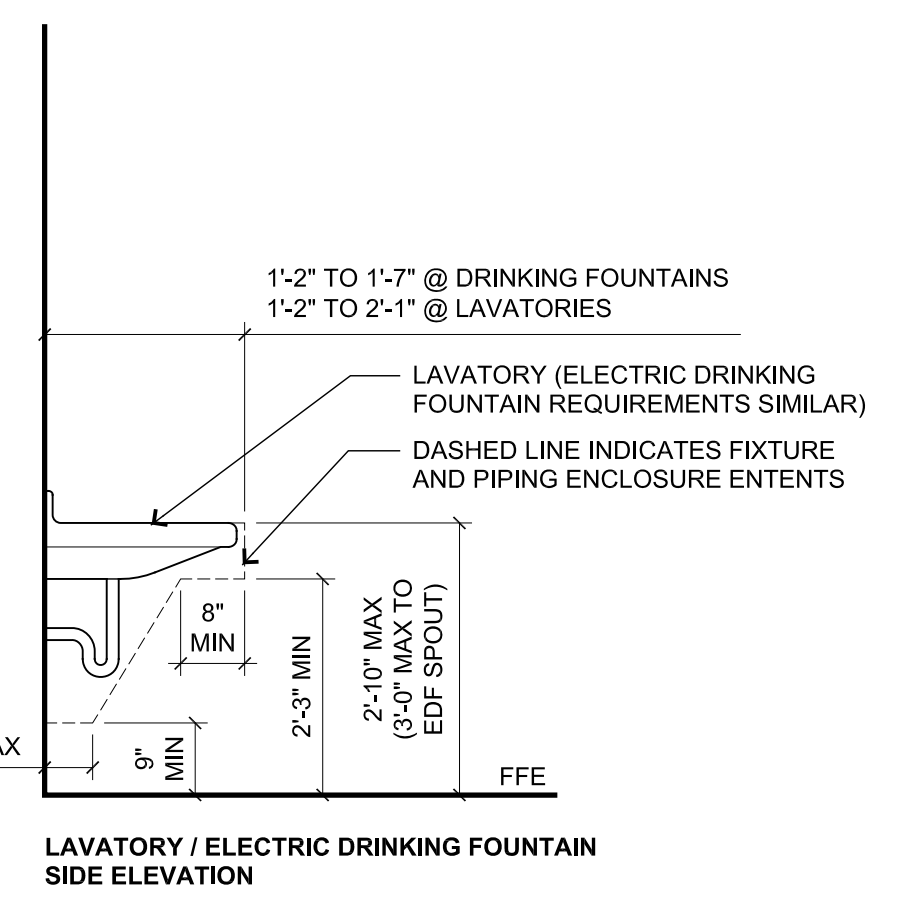
WATER CLOSET SIDE ELEVATION



URINAL FRONT ELEVATION



LAVATORY / ELECTRIC DRINKING FOUNTAIN FRONT ELEVATION



LAVATORY / ELECTRIC DRINKING FOUNTAIN SIDE ELEVATION

6 TYPICAL PLUMBING FIXTURES
1/2" = 1'-0"



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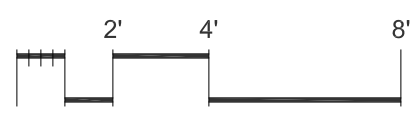
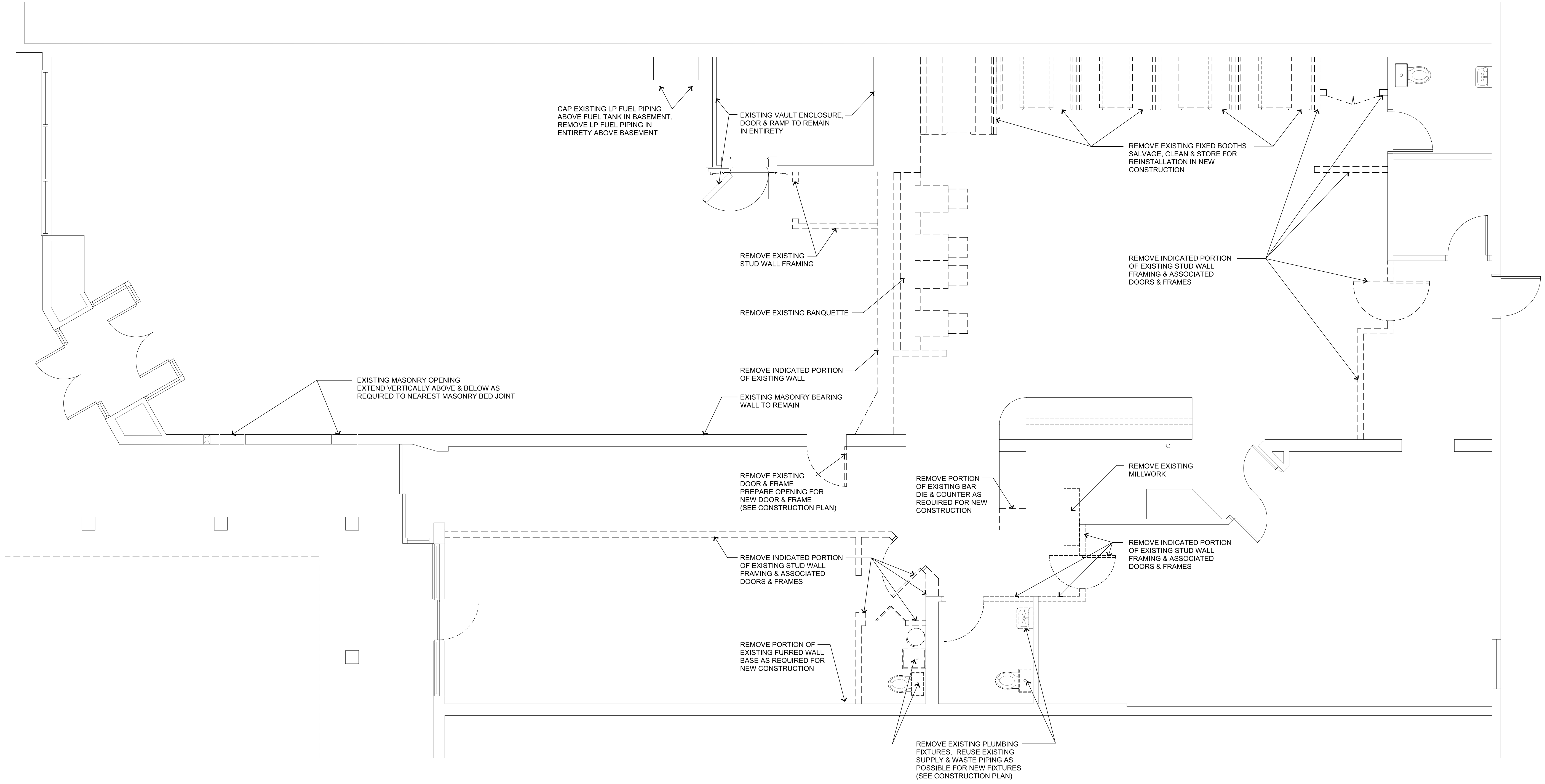
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DEMOLITION PLAN

D1.1



1 DEMOLITION FLOOR PLAN
1/4" = 1'-0"



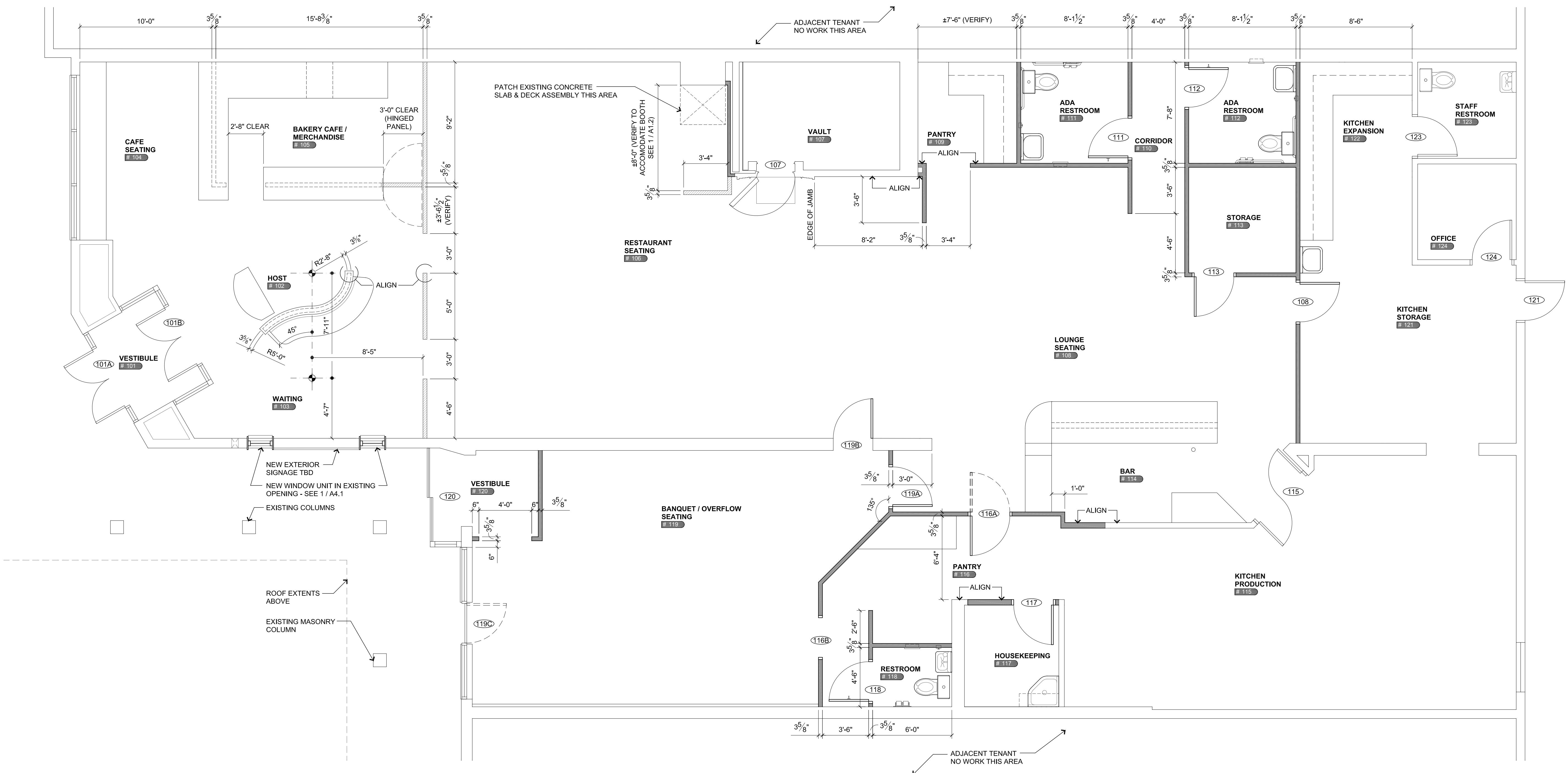
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DOOR LEGEND									
NUM	DOOR MAT'L	DOOR HEIGHT	DOOR WIDTH	DOOR DEPTH	FRAME MAT'L	GLAZING LABEL	GLAZING TYPE	HARDWARE	REMARKS
101A	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXISTING STOREFRONT ENTRY
101B	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXISTING STOREFRONT ENTRY
107	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXISTING VAULT DOOR - FIX IN OPEN POSITION
108	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	-	EGRESS	-
111	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	-	PRIVACY	-
112	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	-	PRIVACY	-
113	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	-	SECURITY	-
115	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXISTING 2-WAY KITCHEN SERVICE DOOR
116A	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	TMP	KICK & PUSH PLATES	2-WAY NON-LATCHING DOOR W/ HALF LIGHT
116B	CO	6'-8"	3'-0"	-	HM	-	-	-	CASED OPENING
117	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	-	SECURITY	-
118	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	-	PRIVACY	-
119A	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	-	EGRESS	-
119B	SCWD	6'-8"	3'-0"	1 3/4"	HM	-	-	-	NEW DOOR & FRAME IN EXISTING OPENING
119C	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	CLOSE & LOCK EXISTING STOREFRONT ENTRY
120	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXISTING AUTOMATIC SLIDING GLASS DOOR
121	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXISTING EXTERIOR DOOR
123	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXISTING OFFICE DOOR
124	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXST	EXISTING EMPLOYEE BATHROOM DOOR

TMP DENOTES 1/4" CLEAR TEMPERED FLOAT GLASS
 EGRESS HARDWARE SETS TO INCLUDE PANIC BAR, CLOSER & LATCHING MECHANISMS REQUIRED BY CODE FOR EGRESS PASSAGE DOOR

WALLTYPES LEGEND	
---	EXISTING WALL TO REMAIN
---	NEW STUD WALL 3 5/8" METAL STUD FRAMING @ 16" O.C. UNLESS NOTED OTHERWISE
---	NEW PARTIAL HEIGHT STUD WALL 3 5/8" METAL STUD FRAMING @ 16" O.C. TO 4'-0" AFF WITH WOOD CAP UNLESS NOTED OTHERWISE



1 CONSTRUCTION FLOOR PLAN
 1/4" = 1'-0"
 2' 4' 8'

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A1.1

CONSTRUCTION PLAN



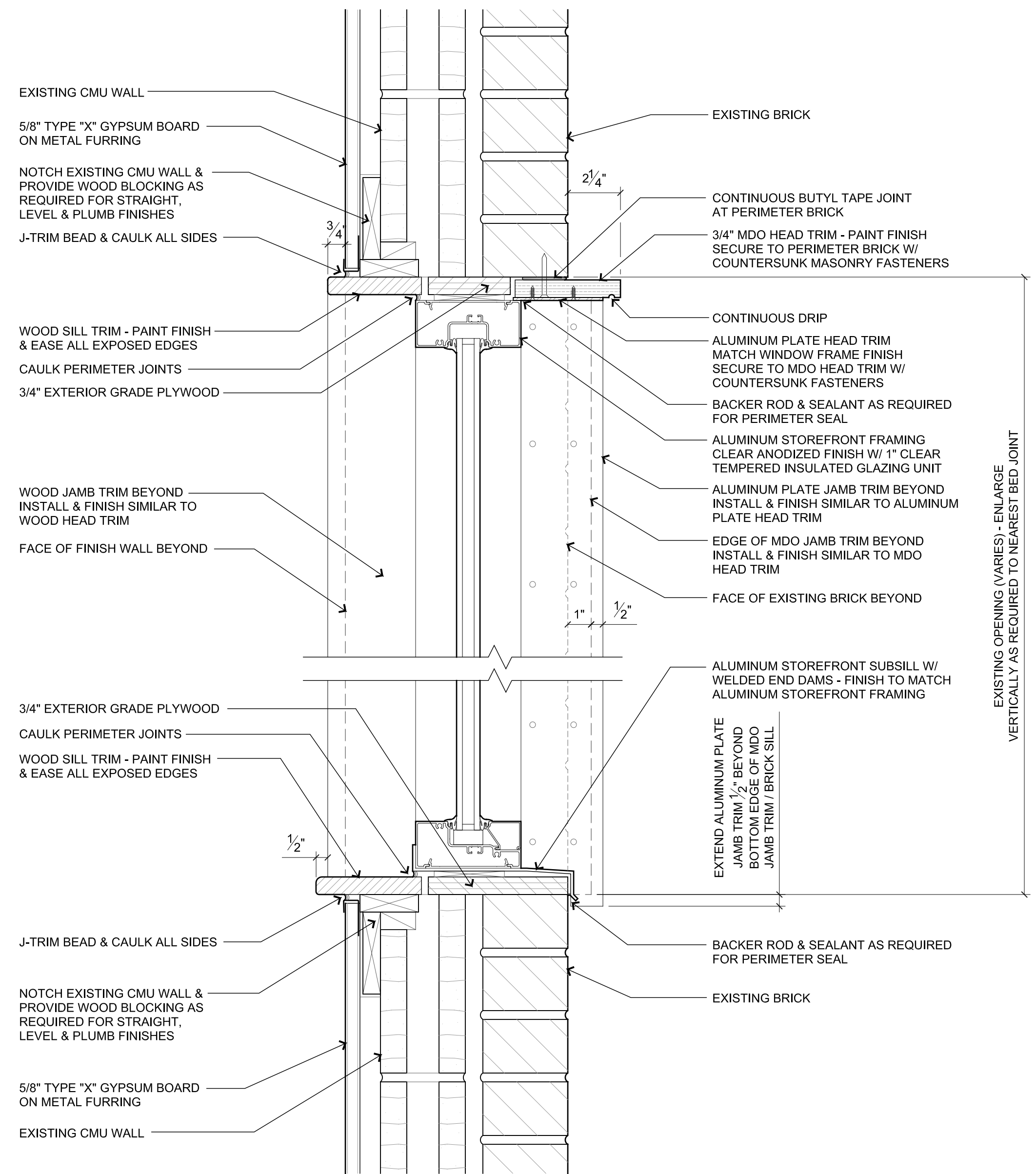
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SECTIONS & DETAILS



1 WINDOW DETAIL
 3" = 1'-0"

A4.1

OWNER FURNISHED EQUIPMENT SCHEDULE

MARK	DESCRIPTION	ELECTRICAL	PLUMBING	MARK	DESCRIPTION	ELECTRICAL	PLUMBING
OFE 01	WALK-IN COOLER	LIGHT: 120V 5A DIRECT EVAP COOLER COIL: 120V 15A DIRECT	EVAP COOLER COIL: FLOOR DRAIN	OFE 11	BUNN COFFEE BREWER	120V 30A	CW
OFE 02	COOLER CONDENSER UNIT	208V 15A DIRECT IN OUTDOOR BOX	-	OFE 12	REACH-IN REFRIGERATOR	120V 15A	-
OFE 03	BEVAIR UNDER-COUNTER REFRIGERATOR 93	120V 20A	-	OFE 13	DISPLAY CASE	120V 15A	-
OFE 04	GLOBE 3600 MEAT SLICER	120V 20A	-				
OFE 05	ICE MACHINE (RELOCATE EXISTING)	RELOCATE EXISTING	RELOCATE EXISTING CW & INDIRECT WASTE W/ FLOOR DRAIN				
OFE 06	COMBINATION OVEN	208V 60A	-				
OFE 07	RANGE & CONVECTION OVEN	CONVECTION OVEN BASE: 120V 20A	RANGE: INCREASE EXISTING NG CAPACITY TO 330 MBTU				
OFE 08	CONTINENTAL 1R REFRIGERATOR	120V 15A	-				
OFE 09	HOT FOOD CART FWETS182618U	120V 15A	-				
OFE 10	SIDEWINDER 18 SODA DISPENSER & CARBONATOR	120V 15A	CW				

NOTES

NOTE: ALL ELECTRICAL & PLUMBING INFORMATION INTENDED FOR EQUIPMENT COORDINATION ONLY. COMPLETE ELECTRICAL & PLUMBING CONSTRUCTION DOCUMENTS TO BE PROVIDED UNDER SEPARATE CONTRACT BY QUALIFIED PROFESSIONAL.

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	HW	CW	VENT	WASTE	REMARKS
P-01	UTILITY SINK	1/2"	1/2"	1 1/2"	2" INDIRECT W/ FLOOR DRAIN	-
P-02	2-WELL PREP SINK	1/2"	1/2"	1 1/2"	2" INDIRECT W/ FLOOR DRAIN	-
P-03	RESTROOM LAVATORY	1/2"	1/2"	1 1/2"	2"	WALL-MOUNT, ACCESSIBLE
P-04	FLUSH TANK WATER CLOSET	1/2"	1/2"	2"	4"	FLOOR-MOUNT, ACCESSIBLE
P-05	RESTROOM LAVATORY	EXST	EXST	EXST	EXST	REUSE EXISTING PIPING
P-06	FLUSH TANK WATER CLOSET	EXST	EXST	EXST	EXST	REUSE EXISTING PIPING
P-07	HANDWASH SINK	1/2"	1/2"	1 1/2"	2"	-
P-08	MOP SINK	EXST	EXST	EXST	EXST	RELOCATE EXISTING PIPING
P-09	HAND SINK	1/2"	1/2"	1 1/2"	2"	WALL-MOUNT, ACCESSIBLE
P-10	FLOOR DRAIN	-	-	-	2"	FUTURE BAR
P-11	UTILITY SINK	1/2"	1/2"	1 1/2"	2" INDIRECT W/ FLOOR DRAIN	-

NOTE: SEE OFE SCHEDULE FOR ADDITIONAL PLUMBING REQUIREMENTS. COORDINATE REQUIRED WATER, GAS, WASTE & VENT PIPING WITH MANUFACTURER'S PRODUCT



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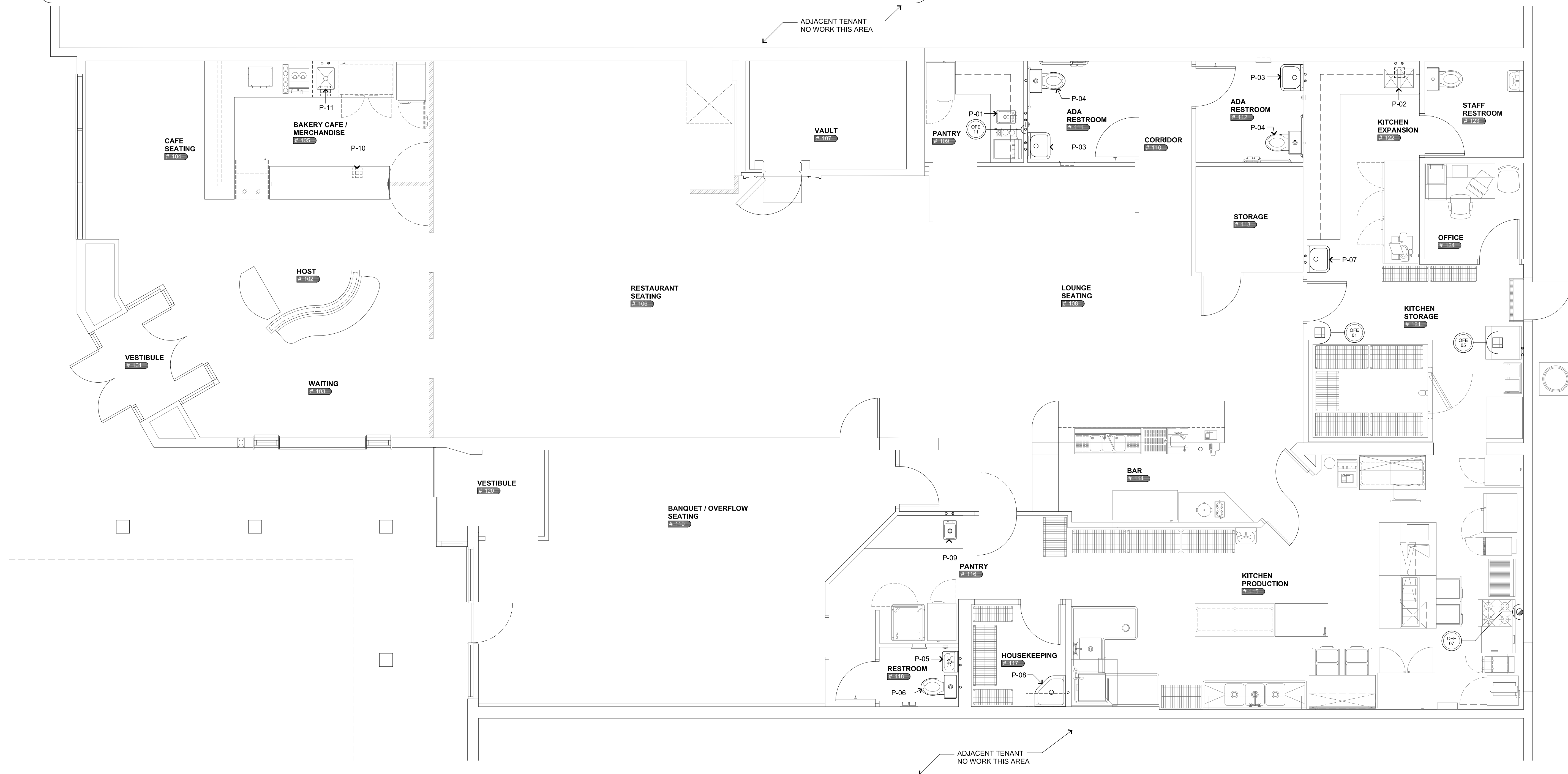
REVISIONS:

**MAX'S POSITIVE VIBE CAFE
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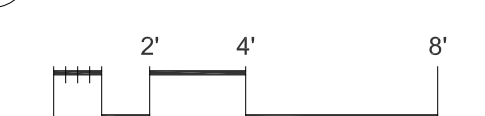
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P1.1

PLUMBING PLAN



1 PLUMBING PLAN
1/4" = 1'-0"





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E1.1

POWER PLAN

OWNER FURNISHED EQUIPMENT SCHEDULE

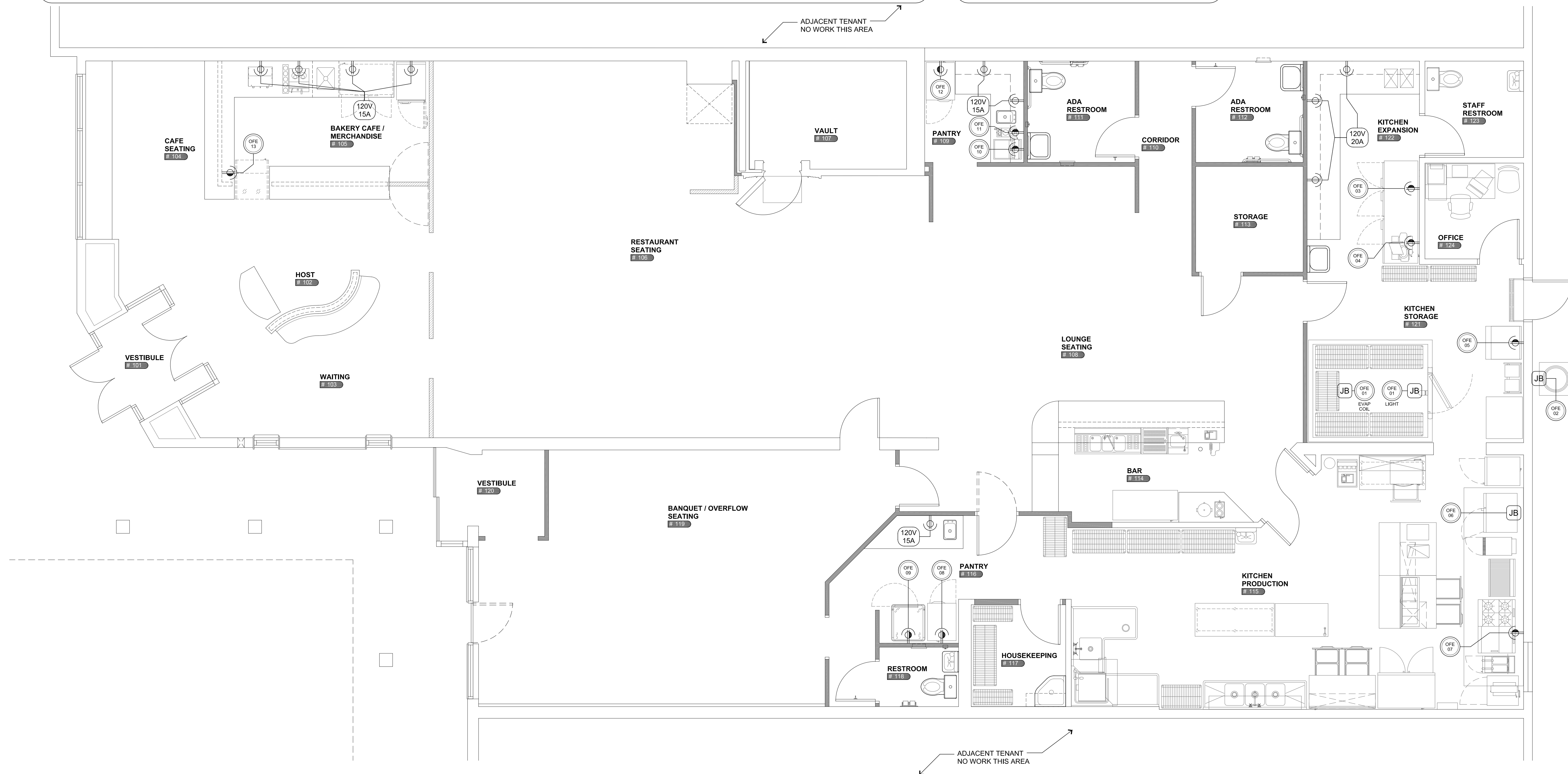
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SYMBOL LEGEND

- DUPLEX RECEPTACLE
- DEDICATED RECEPTACLE - COORDINATE POWER REQUIREMENTS W/ INDICATED EQUIPMENT
- DEDICATED JUNCTION BOX - COORDINATE POWER REQUIREMENTS W/ INDICATED EQUIPMENT



1 ELECTRICAL POWER PLAN
 1/4" = 1'-0"

